

## Local Development Plan R-Code Variations

### 1.0 GENERAL

- 1.1 The provisions of the Armadale Redevelopment Scheme No. 2 (ARS2), State Planning Policy 7.3 *Residential Design Codes* (R-Codes) and the Champion Lakes Gateway Local Structure Plan (LSP) are varied as detailed within this LDP.
- 1.2 All other requirements of ARS2, the R-Codes and the LSP shall be satisfied in all other matters.
- 1.3 Consultation with neighbouring and/or nearby landowners to achieve a variation to the R-Codes in accordance with the provisions of this LDP is not required.
- 1.4 The erection or extension of a single house on a lot contained within this LDP which satisfies the requirements of this LDP is exempt from the requirement to obtain planning approval.

### 2.0 RESIDENTIAL DESIGN CODE

- 2.1 The R-Code applicable to these lots is **R30, R40 and R80** as designated on this LDP.

### 3.0 DESIGN PROVISIONS

Lots Applicable		Requirement
		Subject lots shall achieve a minimum height of two storeys
Lots 14, 15, 16	Design	Dwellings on subject lots shall be oriented towards Wright Lake and designed to achieve passive surveillance of Wright Lake, through the incorporation of at least one major opening to a habitable room which overlooks Wright Lake.

### 4.0 STREET SETBACK AND FRONT FENCING REQUIREMENTS

Lots Applicable		Requirement
All Lots	Primary Street	2m minimum, 4m maximum, no average
		1.5m to porch / verandah no maximum length
		Front fences within the primary street setback area being a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence.

### 5.0 LOT BOUNDARY SETBACK REQUIREMENTS

Lots Applicable		Requirement
All Lots	Boundary Setbacks	1.2m for wall height to 3.5m or less with major openings 1m for wall height to 3.5m or less without major openings
	Boundary walls	To both side boundaries subject to: • 2/3 length to one side boundary, behind the front setback • 1/3 max length to second side boundary for wall height 3.5m or less

### 6.0 OPEN SPACE REQUIREMENTS

Lots Applicable		Requirement
All Lots	Outdoor Living Area (OLA)	An outdoor living area (OLA) with an area of 10% of the lot size or 20m <sup>2</sup> , whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area.
		At least 70% of the OLA must be uncovered. The areas under eaves which adjoin the uncovered area of the OLA are included in the required 70% uncovered area.
		The OLA has a minimum 3m dimension
	Open Space	The open space requirements of the R-Codes do not apply

### 7.0 GARAGE SETBACK AND WIDTH AND VEHICULAR ACCESS

Lots Applicable		Requirement
All Lots	Garages	4.5m garage setback from the primary street and 1.5m from a secondary street

### 8.0 PARKING

Lots Applicable		Requirement
All Lots	Parking	Two on-site bays.

### 9.0 OVERSHADOWING

Lots Applicable		Requirement
All Lots	Overshadowing	No maximum overshadowing for wall height 3.5m or less
		No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast from both ground and upper floors does not exceed 35% of the whole lot.

### 10.0 PRIVACY

Lots Applicable		Requirement
All Lots	Privacy	R-Codes clause 5.4.1 C1.1 applies; however, the setback distances are 3m to bedrooms and studies, 4.5m to major openings to habitable rooms other than bedrooms and studies and 6m to unenclosed outdoor active habitable spaces.



## Local Development Plan - Stage 1

LOT 9022 HENLEY DRIVE, CHAMPION LAKES

A York Property Group Project

### APPROVAL TABLE:

This Local Development Plan has been approved by the Head of Statutory Planning and Approvals in accordance with clause 9.8 of Armadale Redevelopment Scheme 2.

Head of Statutory Planning and Approvals

Date 14 Dec 2021

scale:  
1:1500@A3 | 1:750@A1



0 15 30m

plan:  
17/095/028B

date:  
30/11/2022

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