

Local Development Plan R-Code Variations

- 1.0 GENERAL**
- The provisions of the Armadale Redevelopment Scheme No. 2 (ARS2), State Planning Policy 7.3 Residential Design Codes (R-Codes) and the Champion Lakes Gateway Local Structure Plan (LSP) are varied as detailed within this LDP.
 - All other requirements of ARS2, the R-Codes and the LSP shall be satisfied in all other matters.
 - Consultation with neighbouring and/or nearby landowners to achieve a variation to the R-Codes in accordance with the provisions of this LDP is not required.
 - The erection or extension of a single house on a lot contained within this LDP which satisfies the requirements of this LDP is exempt from the requirement to obtain planning approval.
 - Once the area is normalised with planning control returned to the City of Armadale the requirements of Town Planning Scheme No. 4 and Residential Design Codes Volume 1 will apply to all lots unless otherwise varied by this LDP.

- 2.0 RESIDENTIAL DESIGN CODE**
- The R-Code applicable to these lots is **R30, R40 and R80** as designated on this LDP.

3.0 DESIGN PROVISIONS

Lots Applicable	Requirement
	Subject lots shall achieve a minimum height of two storeys
Lots 14, 15, 16	Design Dwellings on subject lots shall be oriented towards Wright Lake and designed to achieve passive surveillance of Wright Lake, through the incorporation of at least one major opening to a habitable room which overlooks Wright Lake.

4.0 STREET SETBACK AND FRONT FENCING REQUIREMENTS

Lots Applicable	Requirement
	2m minimum, 4m maximum, no average
All Lots	Primary Street 1.5m to porch / verandah no maximum length Front fences within the primary street setback area being a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence.

5.0 LOT BOUNDARY SETBACK REQUIREMENTS

Lots Applicable	Requirement
	Boundary Setbacks 1.2m for wall height to 3.5m or less with major openings 1m for wall height to 3.5m or less without major openings
All Lots	Boundary walls To both side boundaries subject to: • 2/3 length to one side boundary, behind the front setback • 1/3 max length to second side boundary for wall height 3.5m or less

6.0 OPEN SPACE REQUIREMENTS

Lots Applicable	Requirement
	Outdoor Living Area (OLA) An outdoor living area (OLA) with an area of 10% of the lot size or 20m ² , whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. At least 70% of the OLA must be uncovered. The areas under eaves which adjoin the uncovered area of the OLA are included in the required 70% uncovered area. The OLA has a minimum 3m dimension
All Lots	Open Space The open space requirements of the R-Codes do not apply

7.0 GARAGE SETBACK AND WIDTH AND VEHICULAR ACCESS

Lots Applicable	Requirement
All Lots	Garages 4.5m garage setback from the primary street and 1.5m from a secondary street

8.0 PARKING

Lots Applicable	Requirement
All Lots	Parking Two on-site bays.

9.0 OVERSHADOWING

Lots Applicable	Requirement
	No maximum overshadowing for wall height 3.5m or less
All Lots	Overshadowing No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast from both ground and upper floors does not exceed 35% of the whole lot.

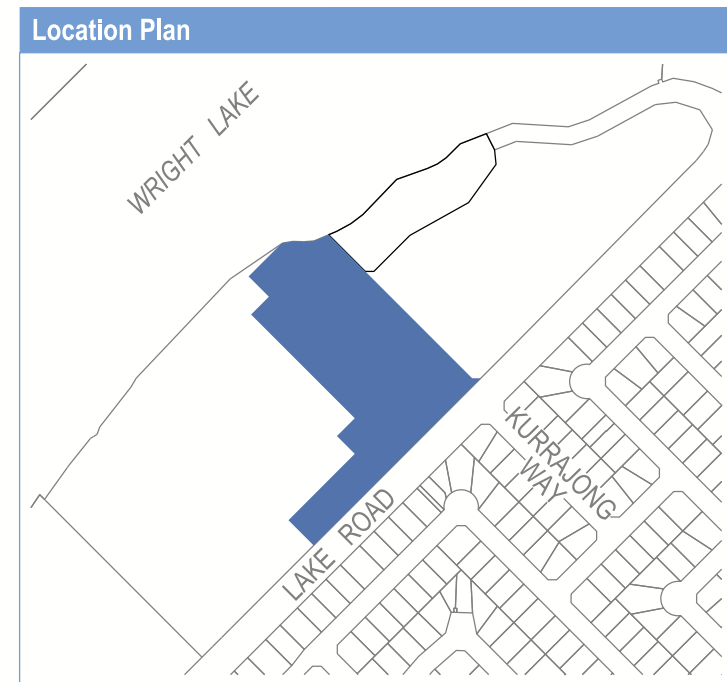
10.0 PRIVACY

Lots Applicable	Requirement
All Lots	Privacy R-Codes clause 5.4.1 C1.1 applies; however, the setback distances are 3m to bedrooms and studies, 4.5m to major openings to habitable rooms other than bedrooms and studies and 6m to unenclosed outdoor active habitable spaces.



Legend

	Extent of Local Development Plan		Noise Attenuation Wall
	R30 Subject Lots		No Vehicle Access Permitted
	R40 Subject Lots		Primary Frontage
	R80 Subject Lots		Secondary Frontage
	Designated Garage Location		Bin Presentation Pads (Lots 29 & 30)
			Subject to design provisions, refer section 3.0



Local Development Plan - Stage 1 LOT 9025 LAKE ROAD, CHAMPION LAKES

A York Property Group Project

DRAFT

APPROVAL TABLE:
This Local Development Plan has been approved by the Head of Statutory Planning and Approvals in accordance with clause 9.8 of Armadale Redevelopment Scheme 2.
Head of Statutory Planning and Approvals *EK*
Date 01 March 2024

scale:
1:1500@A3 | 1:750@A1

plan:
17/095/028E
date:
27/02/2024

Taylor Burrell Barnett Town Planning & Design
Level 7, 160 St Georges Terrace, Perth WA 6000
e: admin@tbbplanning.com.au
p: (08) 9226 4276



© COPYRIGHT TAYLOR BURRELL BARNETT. ALL RIGHTS RESERVED.
ALL AREAS AND DIMENSIONS DISPLAYED ARE SUBJECT TO DETAIL SURVEY.